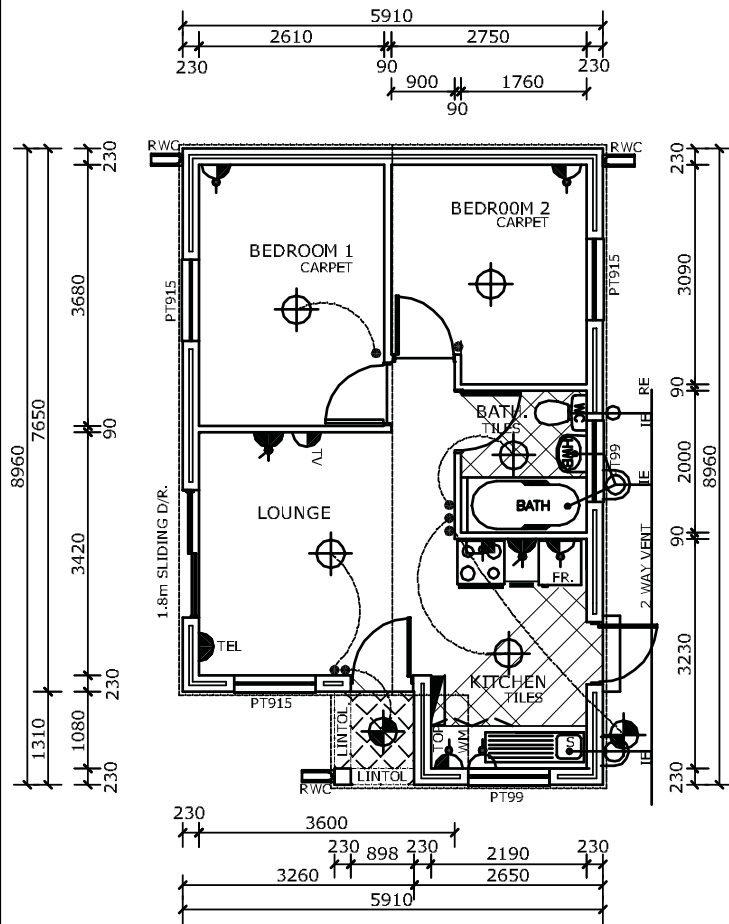
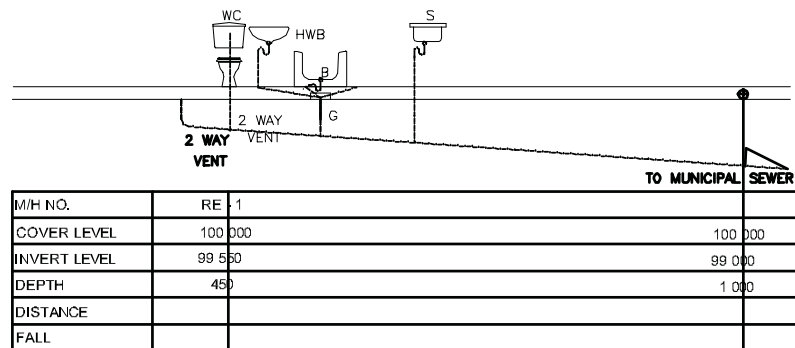
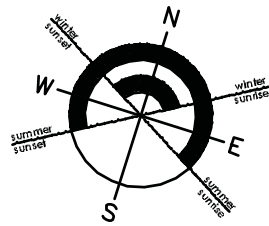


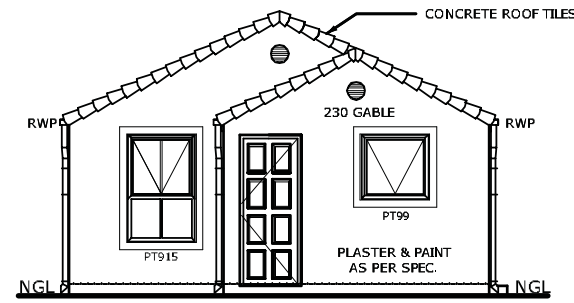
BROADLANDS VILLAGE - PLAN TYPE A - 50 M²



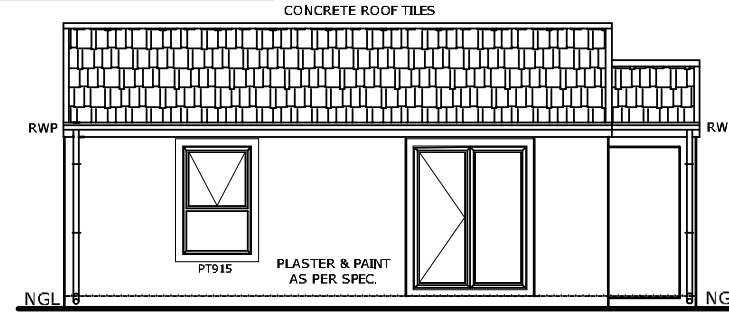
FLOOR PLAN:
Scale 1:100



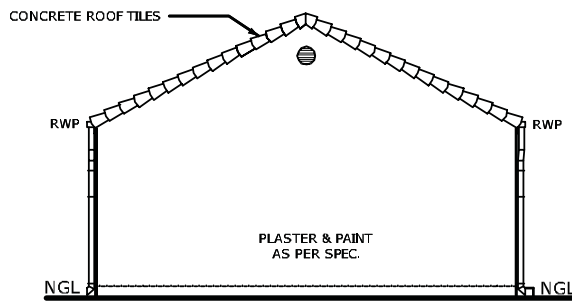
DRAINAGE SECTION (NTS)



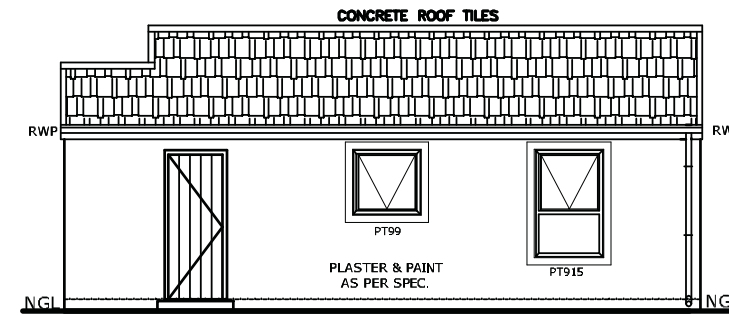
STREET ELEVATION
Scale 1:100



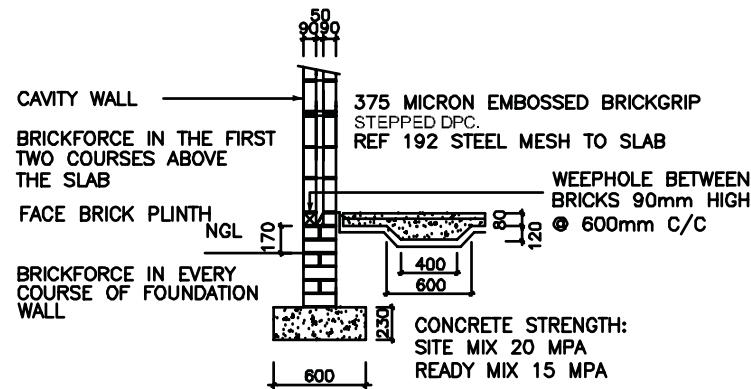
LEFT ELEVATION
Scale 1:100



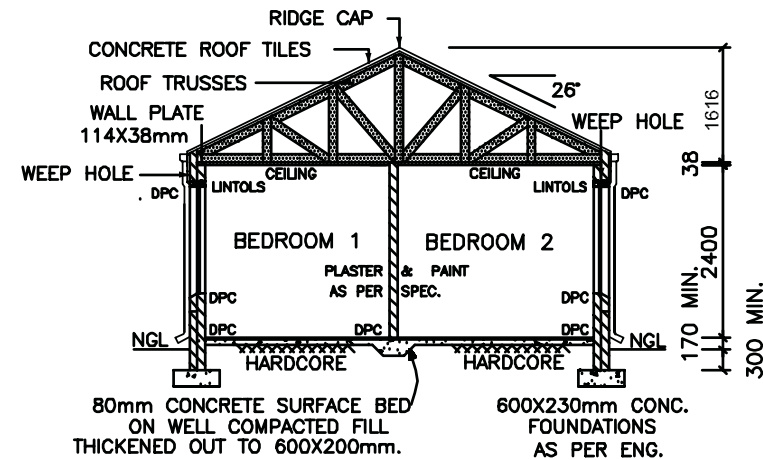
BACK ELEVATION
Scale 1:100



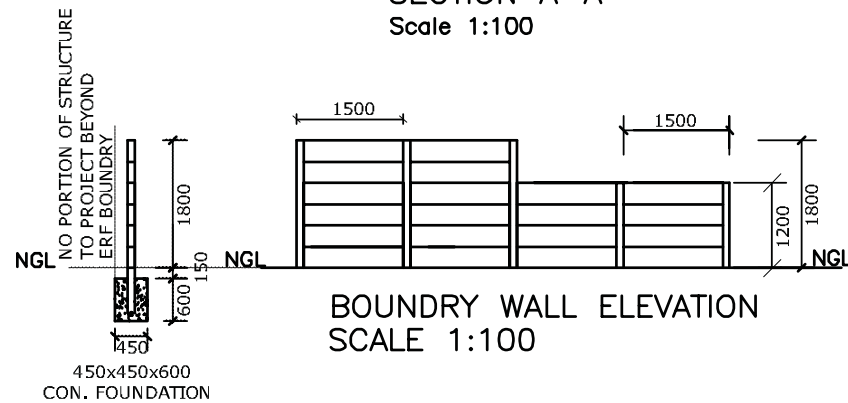
RIGHT ELEVATION
Scale 1:100



FOUNDATION DETAIL
Scale 1:50



SECTION A-A
Scale 1:100



SECTION OF BDR WALL
SCALE 1:100

NOTES

1. THE DEVELOPER RESERVES THE RIGHT TO ADAPT AND ADJUST ALL LEVELS ON SITE.
2. ALL DIMENSIONS MUST BE VERIFIED.
3. ALL GLAZING TO COMPLY WITH SECTION N OF SABS 0400. WINDOW AREAS TO BE 10% OF FLOOR AREA AND TO BE 50% OPENABLE.
4. D.P.C. UNDER ALL WINDOWS, WALLS & FLOORS
5. ALL TO COMPLY WITH NHBC & MUNICIPALITY BY-LAWS.
6. ALL MATERIALS TO MANUFACTURES SPECS & ALL FINISHES IN ACCORDANCE WITH DEVELOPERS SPEC.
7. PLAN TO BE CHECKED BY DEVELOPER PRIOR TO CITY COUNCIL SUBMISSION AND CONSTRUCTION.
8. PC LINTOLS + 4 COURSES BRICKWORK WITH BRICKFORCE EVERY COURSE OVER ALL OPENINGS NOT EXCEEDING 3.0M

ROOF CONSTRUCTION

9. CEMENT ROOF TILES (ROOF COVERING TYPE B) ON 38X38mm PURLONS TO MANUFACTURER SPACING ON 114x38mm TRUSSES % 152X38mm TIE BEAMS (GANG NAIL TRUSSES) AT 760mm MAX SPACING.
10. H-STRIP CEILINGS ON 38X38mm BRANDING.
11. 100X75mm GUTTERS & 75mm DOWNPIPE
12. PITCH OF ROOF TO BE 26°. ALL ROOF TIMBERS TO SA PINE. TIMBER AS SPECIFIED IS GRD 5 AS PER SABS 0400.
13. 114 * 38 DIAGONAL END BRACING (45°) NAILED TO UNDERSIDE OF RAFTERS AT EACH END OF THE ROOF AND IN BOTH PLANES.
14. GABLE END WALLS TIED BACK TO ROOF STRUCTURE WITH GALV. HOOP IRON STRAPS 3 MM THICK * 30MM WIDE @ 600CC EMBEDDED 300MM IN WALL, BENT OVER AND FIXED TO 2 RAFTERS.

DRAINAGE

15. IE'S TO ALL BENDS, JUNCTIONS & CHANGE OF DIRECTION. LAST TO HAVE MARKED GROUND COVERS.
16. DRAIN PASSING UNDER BUILDING TO BE PROTECTED AGAINST LOAD.
17. RESEAL TRAPS TO ALL WAIST FITTINGS (ACCESSIBLE FOR REPAIR AND MAINTENANCE)
18. WASTE PIPES EXCEEDING 6m TO BE VENTED.
19. GRADIENT OF DRAINS TO BE 1:60 FALL MIN TO 1:40 MAX, INVERT LEVEL TO BE 450mm.
20. ALL TRAPS TO WASTE FITTINGS ON A ONE PIPE SYSTEM TO BE FITTED WITH VENT VALVE'S
SP-100mm PVC PIPE
WP- 50mm WASTE WATER PIPE
VENT- 100mm 2 WAY VENT VALVE.

ELECTRICAL

- CEILING LIGHT
- WATERTIGHT LIGHT
- 30 amp WALL PLUG
- db 30 amp WALL PLUG
- TV POINT PLUG
- STOVE CONNECTION
- DISRIBUTION BOARD
- WASHING MACHINE
- 5 amp LIGHT SWITCH
- TELEPHONE POINT

PO Box 1879
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Tel: (021) 948 1892
Fax: (021) 949 1907
Reg.No:
2001/019488/07

PROJECT:
HOUSE FOR
ON STAND
AREA: BROADLANDS VILLAGE II



AREA HOUSE	48.68M ²
STOEP	1.48M ²
TOTAL	50.16M ²
STAND	0.00M ²

DRAWN:
L.S. PHAMPHA
DATE:
00/00/2007
SCALE:
AS SHOWN

TYPE - A
MSP
CLIENT SIGNATURE